

# SHIELD CONVENIENCE STORE ADDITION/ALTERATION

7833 SE 28TH ST  
MERCER ISLAND, WA 98040

## GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH THE 2015 INTERNATIONAL EXISTING BUILDING CODE (INCLUDING WASHINGTON STATE AND CITY OF MERCER ISLAND AMENDMENTS), ALL APPLICABLE CODES, ORDINANCES, AND STANDARDS FOR CITY OF MERCER ISLAND.
- ALL GENERAL NOTES HEREIN, APPLY TO ALL DRAWING SHEETS IN THEIR ENTIRETY AS IF FULLY REPRINTED ON EACH SHEET. ALL GENERAL NOTES APPLY TO ALL SECTIONS OF THE WORK HEREIN DEPICTED FOR THIS PROJECT. NO ALLOWANCE WILL BE MADE FOR THE GENERAL CONTRACTORS (OR THEIR SUBCONTRACTORS) FAILURE TO READ THESE NOTES AND APPLY THEM TO ALL PORTIONS OF THE WORK DETAILED FOR THE PROJECT HEREIN DESCRIBED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE BUILDING AND SITE, AS WELL AS THE SAFETY OF THE OCCUPANTS AND WORKERS, WHILE THE JOB IS IN PROGRESS AND UNTIL THE JOB IS COMPLETED.
- ALL OPERATIONS CONDUCTED ON THE PREMISES SHALL NOT BE OBJECTION-ABLE BEYOND THE PROPERTY BOUNDARY LINES BY REASON OF NOISE, STEAM, ODOR, FUMES, GASES, SMOKE, VIBRATION, HAZARD, OR OTHER CAUSES.
- ALL DEBRIS SHALL BE REMOVED FROM THE PREMISES AND ALL AREAS SHALL BE LEFT IN A "BROOM-CLEAN" CONDITION AT ALL TIMES.
- THE CONTRACTOR SHALL SECURE SUCH PERMITS AND APPROVALS AS REQUIRED BY THE LOCAL FIRE DEPARTMENT PRIOR TO OPERATION.
- THERE SHALL BE NO DEVIATIONS WHATSOEVER FROM THE CONTRACT DOCUMENTS WITHOUT THE ARCHITECT'S WRITTEN APPROVAL THEREOF. THE CONTRACTOR AGREES TO DEFEND, INDEMNIFY, AND HOLD THE ARCHITECT HARMLESS FOR ANY CLAIMS ARISING AS A RESULT OF UNAPPROVED CHANGES.
- THE APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY ANY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN IN GOOD CONDITION, ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS, ON THE PREMISES AT ALL TIMES WHICH ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT.
- DO NOT SCALE DRAWINGS...WRITTEN DIMENSIONS GOVERN.** SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY AND ALL DISCREPANCIES. ALL DIMENSIONS ARE TO CENTERLINE OF COLUMN, FACE OF STUD, FACE OF CONCRETE OR FACE OF CMU UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, DETAILS, ELEVATIONS, AND LOCATIONS TO BE JOINED, AND NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK. COMMENCEMENT OF WORK CONSTITUTES ACCEPTANCE OF EXISTING CONDITIONS AS ADEQUATE FOR THE PROPER COMPLETION OF THE WORK DETAILED HEREIN.
- FINISH FLOOR, TOP OF CONCRETE SLAB, DATUM = +0.00', OR AS NOTED.
- ALL WOOD MEMBERS IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
- ALL TEARS AND JOINTS IN BATT INSULATION TO BE SEALED WITH TAPE.
- ALL EXTERIOR BUILDING SIGNAGE SHALL BE DESIGNED AND INSTALLED UNDER SEPARATE PERMIT.
- WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, THE DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR WORK.
- ALL WORK SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S LATEST RECOMMENDATION OR WRITTEN DIRECTIONS.
- FIRE EXTINGUISHERS: VERIFY REQUIREMENTS AND LOCATION WITH FIRE MARSHALL.
- NOT USED
- NOT USED
- NOT USED
- LATHING, PLASTER, AND GYPSUM WALL BOARD SYSTEMS SHALL CONFORM TO THE 2015 IBC.
- ALL GLAZING TO BE CERTIFIED AND LABELED WITH ITS U-FACTOR AND SOLAR HEAT GAIN COEFFICIENT BY AN INDEPENDENT AGENT LICENSED BY THE N.F.R.C.
- SPECIAL INSPECTION IF REQUIRED BY JURISDICTION FOR CONCRETE CONSTRUCTION, BOLTS INSTALLED IN CONCRETE (WITH 100% STRESS INCREASE), STRUCTURAL STEEL WELDING, HIGH STRENGTH BOLTING, AND MASONRY. INSPECTOR MUST SUBMIT INSPECTION REPORTS AND FINAL SIGNED REPORTS TO KAUL DESIGN ASSOCIATES.
- SEE STRUCTURAL GENERAL NOTES REGARDING: LUMBER, NAILING, CONCRETE, REINFORCING, AND STRUCTURAL STEEL.
- ALL ITEMS MARKED "N.I.C." (NOT IN CONTRACT) OR "O.F.O.I." (OWNER FURNISHED, OWNER INSTALLED) ARE TO BE CONSIDERED AS NOT PART OF THIS CONTRACT UNLESS OTHERWISE NOTED.
- WATER HEATER SIZES AND LOCATIONS SHALL BE AS INDICATED ON THE DRAWINGS. SAID UNITS SHALL COMPLY FULLY WITH ALL REQUIREMENTS OF ASHRAE 90-75 AND SHALL BE VENTED TO THE EXTERIOR.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR INSTRUCTION REGARDING GRADING AND TRENCHING PRIOR TO CONTINUATION OF WORK SHOULD ANY UNUSUAL SUBSURFACE CONDITIONS BECOME APPARENT DURING GRADING FOR FOUNDATIONS CONSTRUCTION.
- ALL FOUNDATION AND FOOTINGS ARE TO REST ON UNDISTURBED EARTH AND AS NOTED IN THE STRUCTURAL GENERAL NOTES. IF CONTRARY CONDITIONS OCCUR, NOTIFY THE ARCHITECT.
- NOT USED
- EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, OPENINGS BETWEEN WALLS AND FOUNDATION, BETWEEN WALLS, AND ROOF AND OPENINGS AT PENETRATIONS OF UTILITY SERVICES THROUGH WALLS, FLOORS, DOORS, AND OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, GASKETED, OR WEATHER STRIPPED TO LIMIT AIR LEAKAGE AND ELIMINATE WATER PENETRATION.
- NOT USED

## PROJECT DATA

SITE ADDRESS: 7833 SE 28TH ST 98040  
Mercer Island, WA

DESCRIPTION OF WORK: TENANT IMPROVEMENT

JURISDICTION: CITY OF MERCER ISLAND

EXISTING BUILDING AREA: 1013 S.F.

NEW ADDITION: 580 S.F.

FUEL CANOPY AREA: 1014 S.F.

ZONING: TC - TOWN CENTER

SITE AREA: 13,200 S.F.

ASSESSOR'S PARCEL NUMBER: 545230-0380

## LEGAL DESCRIPTION

MERCER PARK ADD  
Plat Block: 4  
Plat Lot: 1-2-3

## SYMBOLS KEY

	<b>WALL SECTION</b> detail no. sheet no.		<b>BUILDING SECTION</b> section no. sheet no.
	<b>DETAIL</b> detail no. sheet no.		<b>ELEVATION DATUM</b> height above datum plane building or site element located
	<b>INTERIOR ELEVATION</b> detail no. sheet no.		<b>SPOT ELEVATION</b>
	<b>GRID LINES</b> E-W lines numbered, N-S lines lettered		<b>CENTER LINE</b>
	<b>DOOR SYMBOL</b> door type no.		<b>PROPERTY LINE</b>
	<b>WALL SYMBOL</b> wall type II.		<b>REVISION</b>
	<b>WINDOW SYMBOL</b> window type II.		<b>MATCH LINE</b> shaded portion faces side considered

## SHEET INDEX

ARCHITECTURAL  
A0.0 COVER SHEET  
A0.1 SITE PLAN  
D.1.1 DEMO PLAN  
A1.1 FLOOR PLAN  
A1.3 ROOF PLAN  
A2.1 EXTERIOR ELEVATIONS

## PROJECT TEAM

**OWNER**  
Sun Pacific Energy  
501 W. Canal Dr.  
Kennewick, WA 99336  
Sunpacific.net  
Ph: 360-981-1444  
Attn: Matt Randish-Wholesale Division Manager

**ARCHITECT:**  
KAUL DESIGN ARCHITECTURE, PLLC  
1733 FERNDAL AVE SE  
RENTON, WA 98058  
P: 206-200-0015  
Attn: BRAD KAUL

**STRUCTURAL:**  
CWA CONSULTANTS  
8675 E CARAWAY RD,  
PORT ORCHARD, WA 98366  
P-503-620-4314  
Attn: CHUCK WILLIAMS

**APPLICABLE CODES:**  
2015 International Building Code,  
2015 International Existing Building Code,  
2015 International Fire Code,  
2015 International Mechanical Code,  
2015 Uniform Plumbing Code  
2015 Washington State Energy Code

**BUILDING CONSTRUCTION TYPE**  
TYPE V-B NON-SPRINKLERED

**OCCUPANCIES**  
M - MERCANTILE (CONVENIENCE STORE)  
M - EXISTING FUEL CANOPIES (NO WORK)

**BASIC ALLOWABLE AREA**  
M = 1 STORY 9,000 S.F. PER FLOOR ALLOWED

**PROPOSED AREA:**  
M - BUILDING AREA = 1593 S.F.  
M - CANOPY = 1014 S.F.  
TOTAL = 2,607 S.F. < 9,000 S.F. O.K.

## DEFERRED

- ELECTRICAL PERMIT BY OTHERS
- PLUMBING PERMIT BY OTHERS
- MECHANICAL PERMIT BY OTHERS
- COOLER BOX BY OTHERS
- FIRE ALARM BY OTHERS

## Registration



## Design Team

KDA  
**Design**  
BK  
**Drawn**  
BK  
**Client Project No.**  
-  
**KDA Project No.**  
GSA-01

## Owner

-

## Project

**Mercer Island Shell  
Addition/Alteration**  
-  
-

## Issue/Revision

No.	Date	Description
1	3-12-20	SCHEMATIC
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## Sheet Title

**COVER  
SHEET**

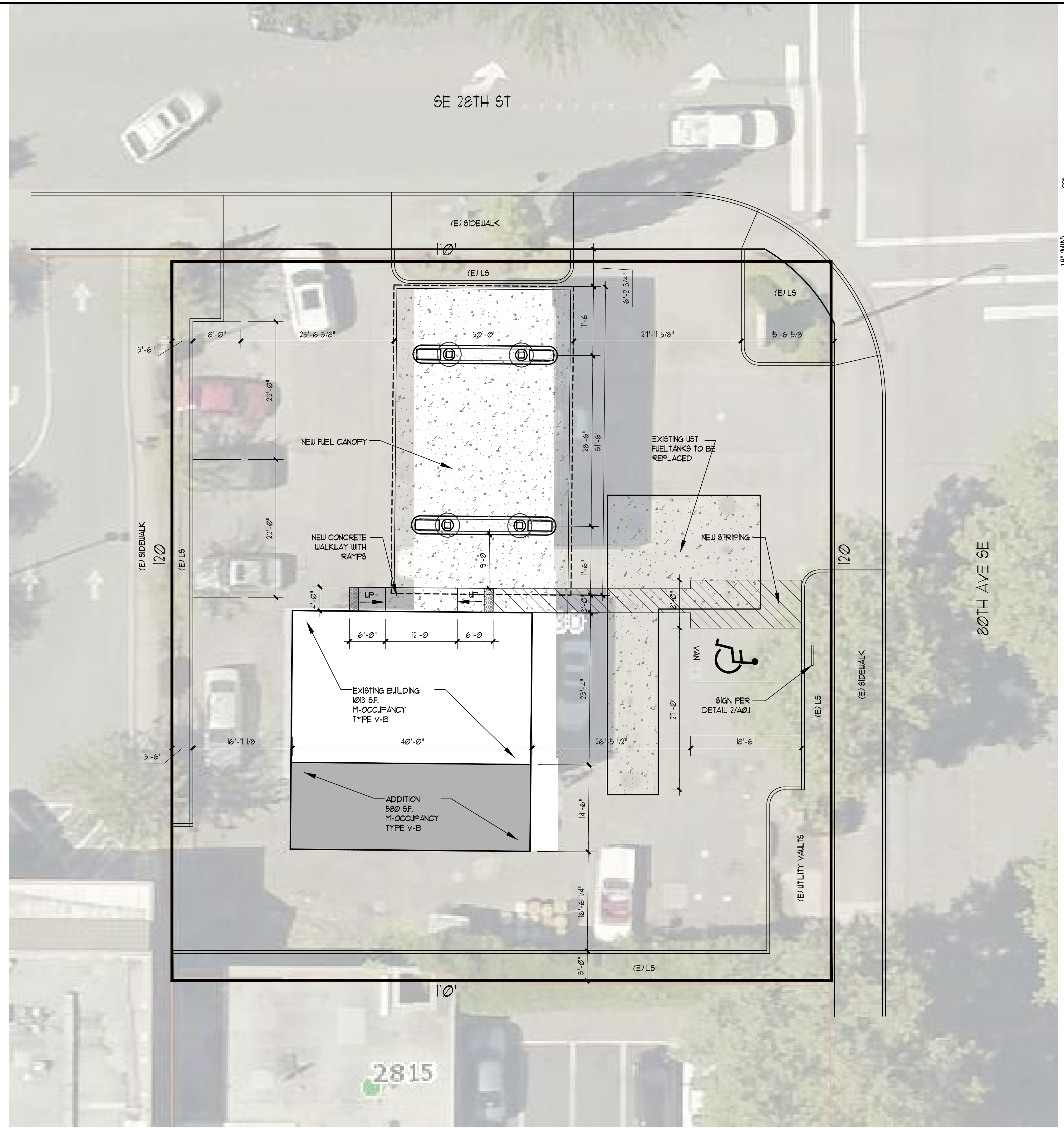
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3/12/2020

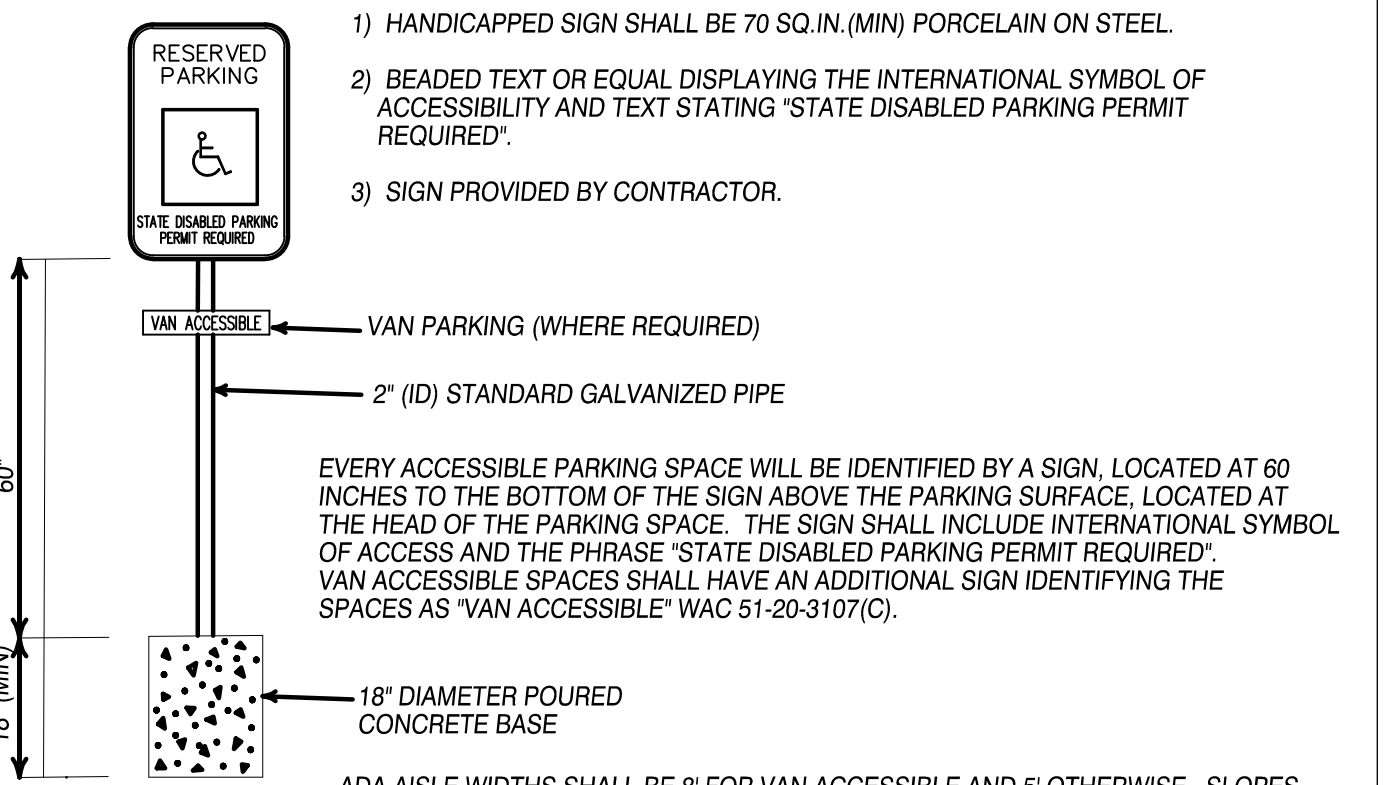
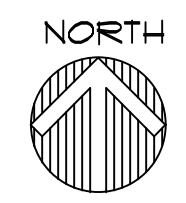
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## Sheet No.

**A0.0**



1 SITE PLAN  
1" = 10'-0"



2 HC PARKING SIGN DETAIL  
NOT TO SCALE

PARKING CALCULATIONS

PARKING REQUIRED	2 to 3 per 1000 s.f. or 3-5 parking stalls required
PARKING PROVIDED	5 parking stalls

- 1) HANDICAPPED SIGN SHALL BE 70 SQ. IN. (MIN) PORCELAIN ON STEEL.
- 2) BEADED TEXT OR EQUAL DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND TEXT STATING 'STATE DISABLED PARKING PERMIT REQUIRED'.
- 3) SIGN PROVIDED BY CONTRACTOR.

Registration

8037 REGISTERED ARCHITECT

Design Team

KDA
Design
BK
Drawn
BK
Client Project No.
-
KDA Project No.
GSA-01

Owner

-

Project

<b>Mercer Island Shell Addition/Alteration</b> - -
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**SITE PLAN**

Print Date

3/12/2020

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Sheet No.

**A0.1**

Registration



Design Team

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 Design BK  
 Drawn BK  
 Client Project No. -  
 KDA Project No. GSA-01

Owner

-

Project

Mercer Island Shell  
 Addition/Alteration

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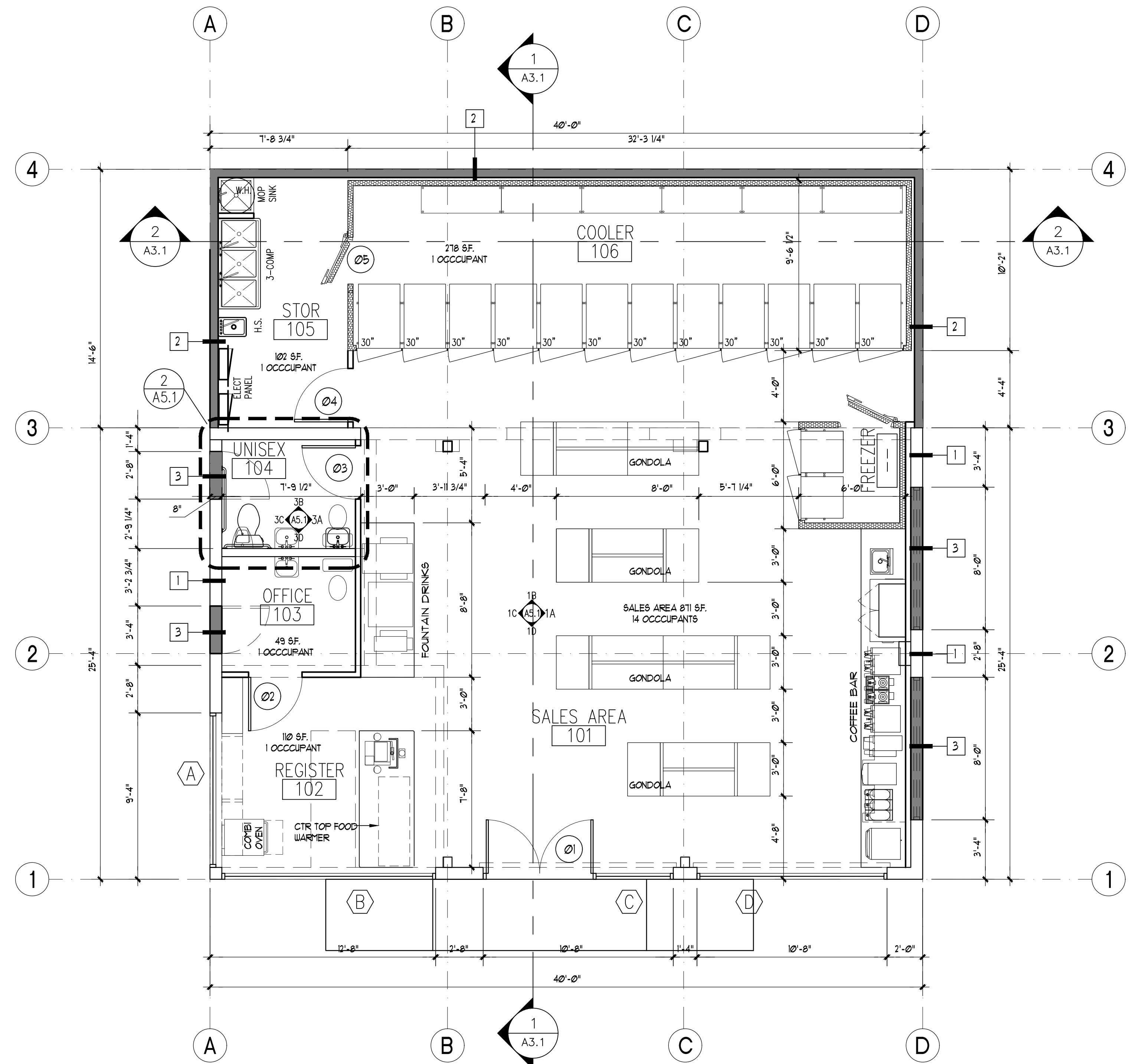
FLOOR PLAN

Print Date  
 3/12/2020

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Sheet No.

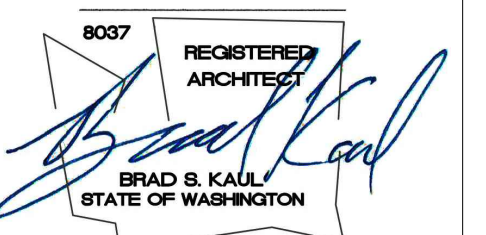
A11



1 FLOOR PLAN  
 1/4"=1'-0" OPTION 1

DOOR SCHEDULE	ENERGY CODE REQUIREMENTS	FLOOR PLAN LEGEND	WALL TYPE NOTES	WALL TYPE ASSEMBLIES
<p>01 DEL. 3070 STOREFRONT DOOR. PANIC ALARM DEVICE. DELAYED EGRESS. SEE ELEVATIONS FOR MORE INFORMATION. NO EXTERIOR OPERATION.</p> <p>02 3068 HM DOOR</p> <p>03 3068 HM DOOR. PRIVACY LOCK.</p> <p>04 3068 DOOR. SECURITY LOCK. PANIC HARDWARE</p> <p>05 WALK-IN COOLER DOOR BY OTHERS MEET REQUIREMENTS FOR 2015 WASHINGTON STATE ENERGY CODE SECTION C402.3- WALK-IN COOLER.</p> <p>DELATED EGRESS REQUIREMENTS:                      1. THE DOORS UNLOCK UPON ACTIVATION OF THE AUTOMATIC FIRE DETECTION SYSTEM.                      2. THE DOORS UNLOCK UPON LOSS OF POWER CONTROLLING THE LOCK OR LOCK MECHANISM.                      3. THE DOOR LOCKS SHALL HAVE THE CAPABILITY OF BEING UNLOCKED BY A SIGNAL FROM THE FIRE COMMAND CENTER.                      4. THE INITIATION OF AN IRREVERSIBLE PROCESS WHICH WILL RELEASE THE LATCH IN NOT MORE THAN 15 SECONDS WHEN A FORCE OF NOT MORE THAN 15 POUNDS (67 N) IS APPLIED FOR 1 SECOND TO THE RELEASE DEVICE. INITIATION OF THE IRREVERSIBLE PROCESS SHALL ACTIVATE AN AUDIBLE SIGNAL IN THE VICINITY OF THE DOOR. ONCE THE DOOR LOCK HAS BEEN RELEASED BY THE APPLICATION OF FORCE TO THE RELEASING DEVICE, RELOCKING SHALL BE BY MANUAL MEANS ONLY. EXCEPTION: WHERE APPROVED, A DELAY OF NOT MORE THAN 15 SECONDS IS PERMITTED.                      5. A SIGN SHALL BE PROVIDED ON THE DOOR LOCATED ABOVE AND WITHIN 12 INCHES (305 MM) OF THE RELEASE DEVICE READING: PUSH UNTIL ALARM SOUNDS. DOOR CAN BE OPENED IN 15 SECONDS.                      6. EMERGENCY LIGHTING SHALL BE PROVIDED AT THE DOOR.</p>	<p>WALK-IN COOLER                      C402.5 Walk-in coolers and walk-in freezers. Walk-in coolers and walk-in freezers shall comply with all of the following:                      1. Shall be equipped with automatic door closers that firmly close walk-in doors that have been closed to within 1 inch of full closure.                      2. Doorways shall have strip doors (curtains), spring-hinged doors, or other method of minimizing infiltration when doors are open.                      3. Walk-in coolers shall contain wall, ceiling, and door insulation of at least R-25 and walk-in freezers at least R-32.                      Exception: Glazed portions of doors or structural members.                      4. Walk-in freezers shall contain floor insulation of at least R-28.                      5. Transparent reach-in doors for walk-in freezers and windows in walk-in freezer doors shall be of triple-pane glass, either filled with inert gas or with heat-reflective treated glass.                      6. Transparent reach-in doors for walk-in coolers and windows in walk-in cooler doors shall be double-pane glass with heat-reflective treated glass and gas fill; or triple-pane glass, either filled with inert gas or with heat-reflective treated glass.</p>	<p>SEE DOOR SCHEDULE - SHEET A701</p> <p>SEE WINDOW SCHEDULE - SHEET A701</p> <p>FOR HANDICAPPED FIXTURES SEE ENLARGED UNIT AND BATHROOM PLANS A501 FOR ACCESSIBLE CLEARANCES AND MOUNTING HEIGHTS</p> <p>FIRE EXTINGUISHER CABINET @ 75'-0" O.C. MAX. PER DETAIL 3/A8.2</p> <p>NEW COOLER BOX WALL (BY OTHERS)</p> <p>NEW WALL</p>	<p>1. REFERENCE ROOM FINISH SCHEDULE FOR EXACT TYPES AND HEIGHTS OF FINISHES FOR SPECIFIC LOCATIONS.                      2. ALL WALL TYPES INDICATED ON THE PLANS ARE ASSUMED TO RUN FULL HEIGHT TO STRUCTURE ABOVE, UNLESS NOTED OTHERWISE. WALL TYPES OTHER THAN FULL HEIGHT SHALL BE INDICATED (IN INCHES) BY A SYMBOL THUS: <math>\square_{120"}^{\square}</math>                      WALL TYPES EXTENDING TO CEILING ONLY SHALL BE SUPPORTED BY EXTENDING FRAMING AND/OR BRACING TO STRUCTURE ABOVE AS REQUIRED.                      3. USE TYPE X WATER RESISTENT GYPSUM BOARD IN ALL BATHROOMS TYP.                      4. SEE WALL TYPES FOR FULL DESCRIPTION OF ASSEMBLIES.                      5. WALL TYPE NUMBER AS INDICATED ON FLOOR PLANS AND REFERENCED ON THIS SHEET BY <math>\square_{NO}</math></p>	<p>WALL TYPE 1                      EXTERIOR WALL</p> <p>WALL TYPE 2                      EXTERIOR WALL</p> <p>WALL TYPE 3                      EXTERIOR WALL</p> <p>WALL TYPE 4                      INTERIOR WALL</p>
<p>OCCUPANT LOAD</p> <p>OCCUPANT LOAD                      SALES AREA = 871 S.F./ 60 S.F. OCC. = 14 OCCUPANTS                      COOLER BOX = 278 S.F./ 300 S.F. OCC = 1 OCCUPANT                      BACK OF HOUSE = 102 S.F./ 100 S.F. OCC = 1 OCCUPANT                      OFFICE = 49 S.F./100 S.F. OCC = 1 OCCUPANT                      REGISTER = 110 S.F./200 S.F. OCC = 1 OCCUPANT                      TOTAL OCCUPANT LOAD = 16 OCCUPANTS                      1 EXIT REQUIRED (1 EXIT PROVIDED)                      1 TOILET ROOM REQUIRED = 15 OCC                      EXIT WIDTH REQUIRED = 0.2 X 36 = 7" = 36" MINIMUM PROVIDED                      EXIT ACCESS TRAVEL DISTANCE = 55 FT MAXIMUM PROVIDED &lt; 200 FT ALLOWED</p>		<p>FLOOR PLAN NOTES</p> <p>1. --                      2. --</p>		

Registration



Design Team

KDA  
 Design BK  
 Drawn BK  
 Client Project No. -  
 KDA Project No. GSA-01

Owner

-

Project

**Mercer Island Shell  
Addition/Alteration**

-  
-

Issue/Revision

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Sheet Title

**DEMOLITION  
PLAN**

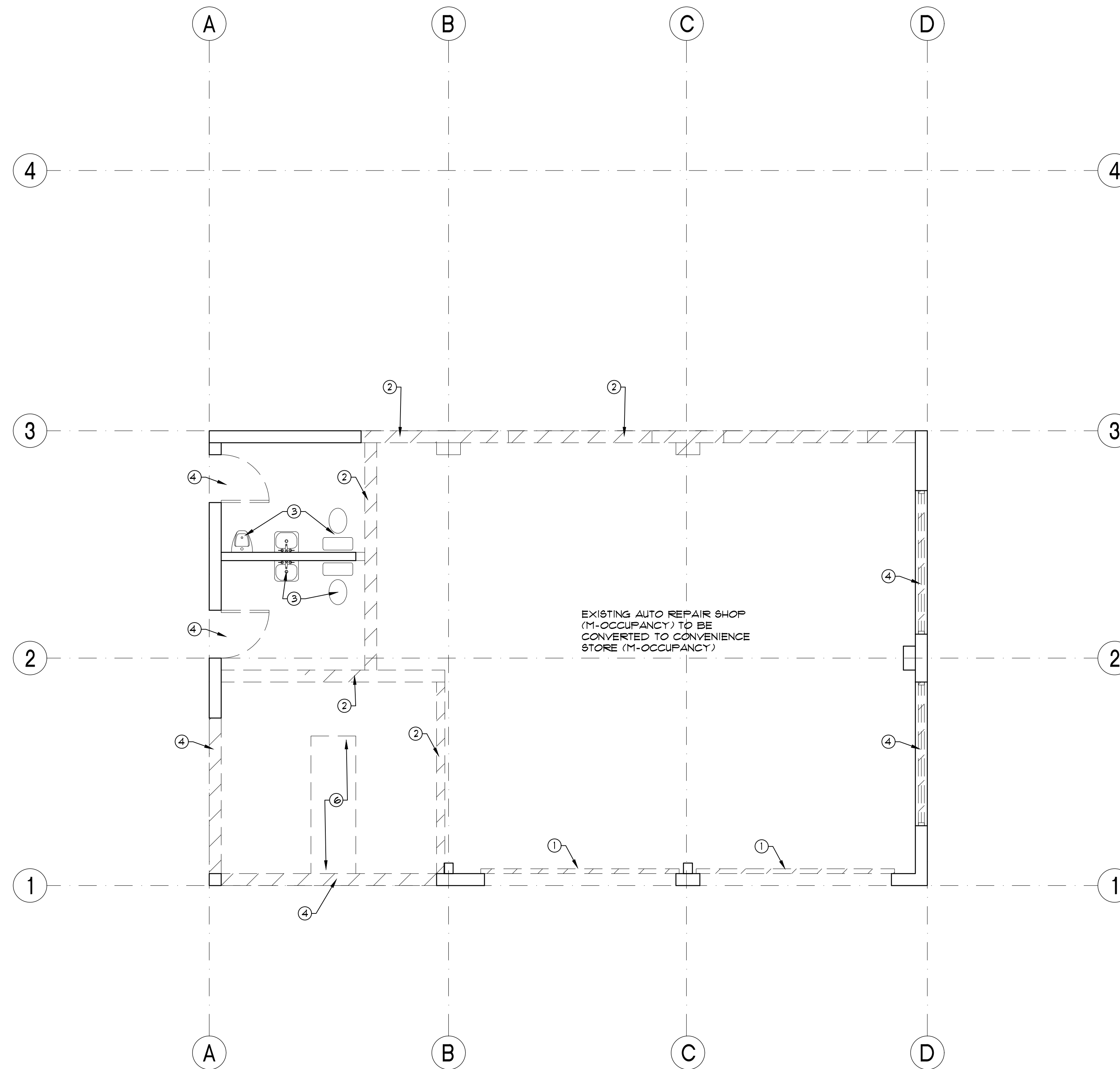
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Sheet No.

**A1.1D**



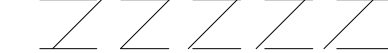
EXISTING AUTO REPAIR SHOP  
(M-OCCUPANCY) TO BE  
CONVERTED TO CONVENIENCE  
STORE (M-OCCUPANCY)

DEMOLITION PLAN-KEYED NOTES

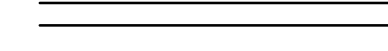
- ① DEMO EXISTING ROLL UP GARAGE DOOR
- ② DEMO EXISTING WALL
- ③ DEMO EXISTING PLUMBING AND PREPARE FOR NEW ADA RESTROOM
- ④ DEMO EXISTING DOOR AND INFILL PER NEW PLAN
- ⑤ DEMO EXISTING WINDOW AND INFILL PER NEW PLAN
- ⑥ DEMO EXISTING SALES COUNTER
- ⑦ NOT USED
- ⑧ NOT USED

LEGEND

AREA OF DEMOLITION



EXISTING TO REMAIN



**1 DEMOLITION PLAN**  
1/4"=1'0"



Registration



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 Drawn BK  
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EXTERIOR ELEVATIONS

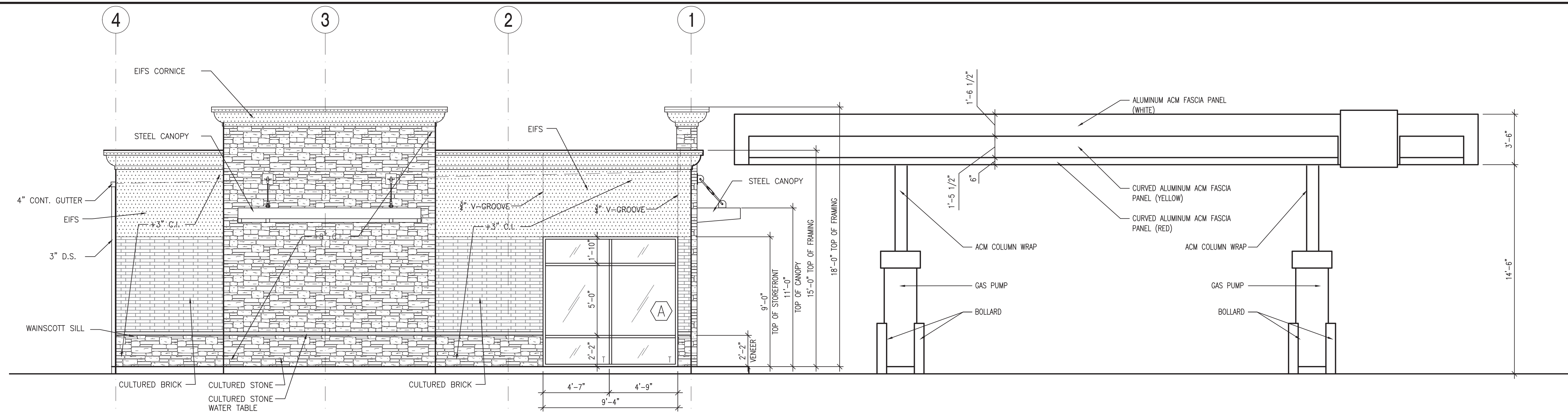
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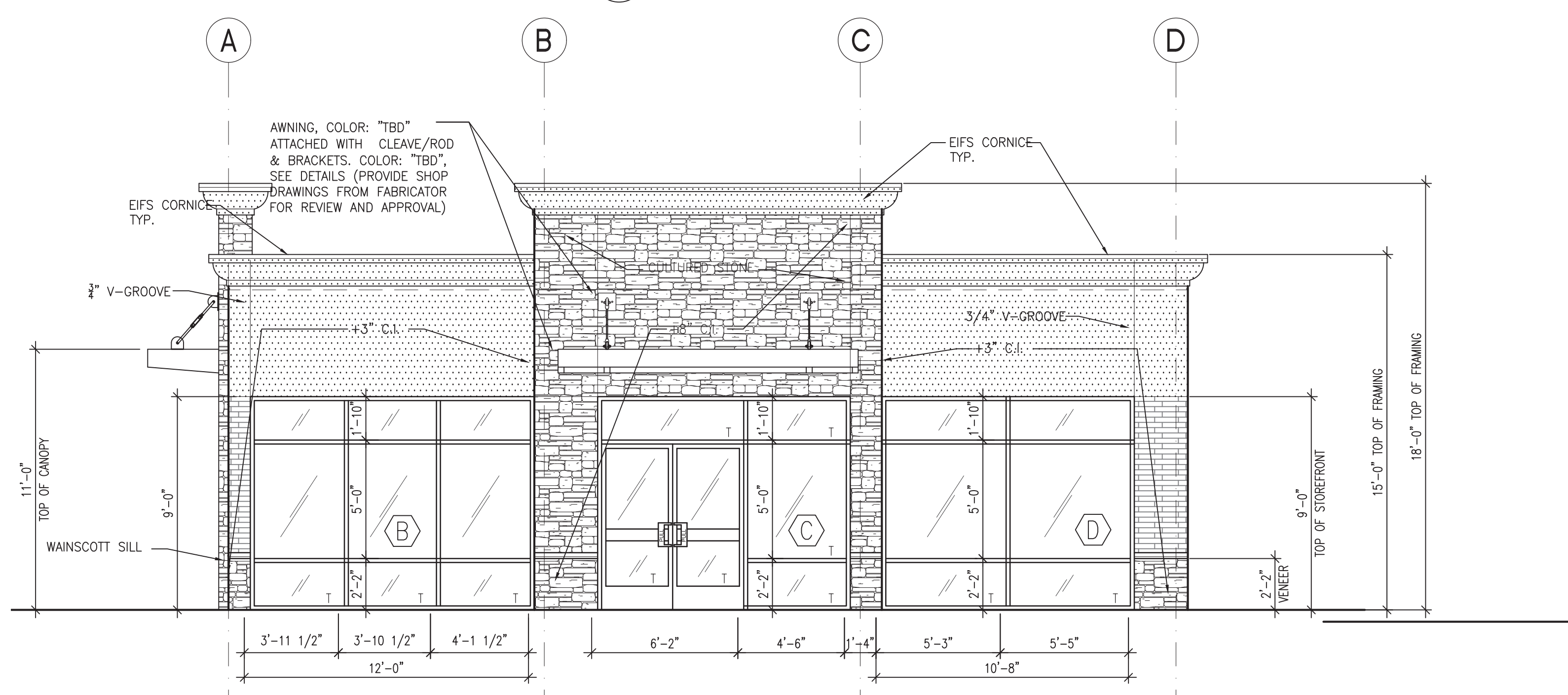
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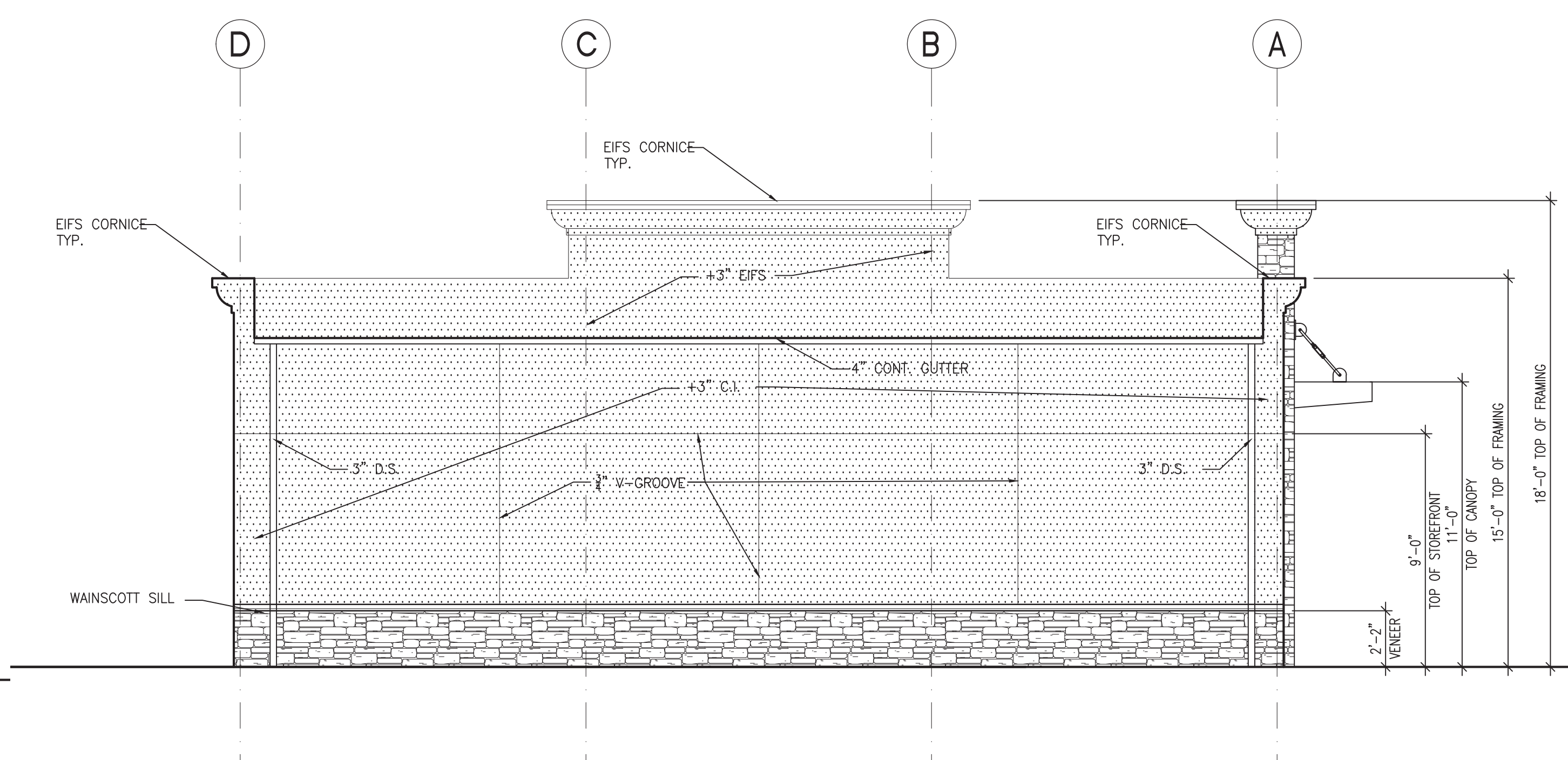
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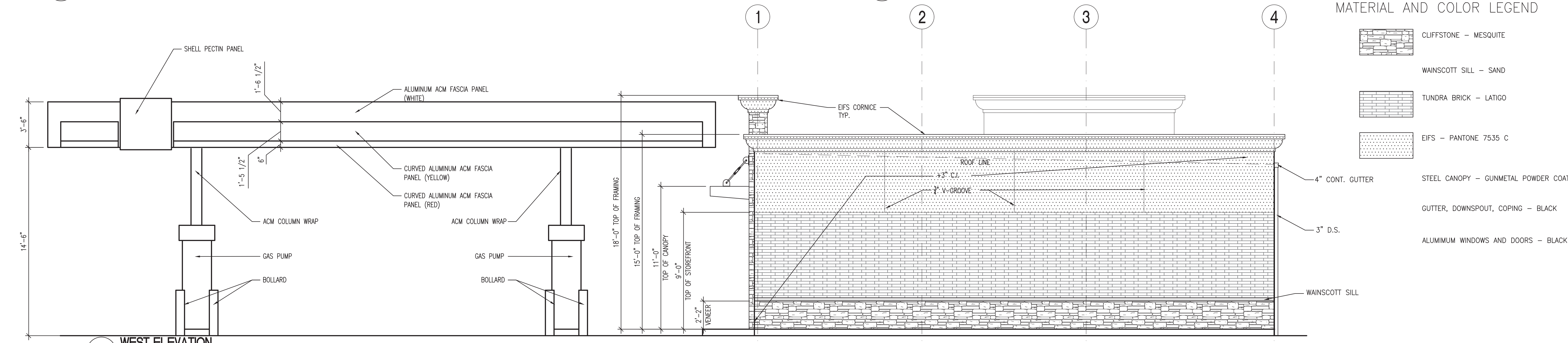
2 EAST ELEVATION  
 1/4"=1'0"



1 NORTH ELEVATION  
 1/4"=1'0"



3 SOUTH ELEVATION  
 1/4"=1'0"



4 WEST ELEVATION  
 1/4"=1'0"

MATERIAL AND COLOR LEGEND

- CLIFFSTONE - MESQUITE
- WAINSCOTT SILL - SAND
- TUNDRA BRICK - LATIGO
- EIFS - PANTONE 7535 C
- STEEL CANOPY - GUNMETAL POWDER COAT
- GUTTER, DOWNSPOUT, COPING - BLACK
- ALUMINUM WINDOWS AND DOORS - BLACK